

CHAPTER 1

RESIDENTIAL DESIGN GUIDELINES



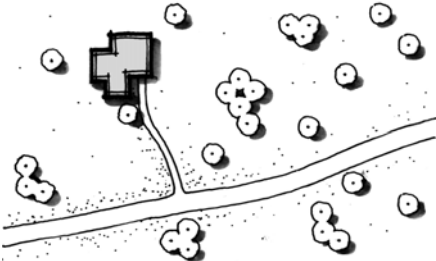
SECTION 1.1: RESIDENTIAL DESIGN GUIDELINES FRAMEWORK

1.11 Introduction

The General Plan and Development Code identifies eight residential land use classifications in the City of Fort Bragg, each with varying character and intensities. The following graphics illustrate the basic characteristics of each district.

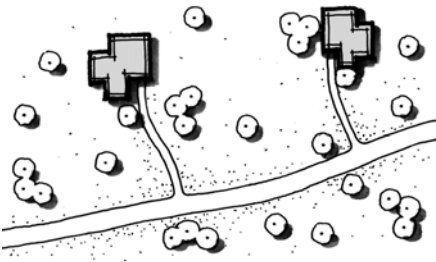
- **Large Lot Rural Residential (RR5)**

The large lots in this single-family designation are intended to preserve the low density, rural character of lands on the edge of the City and be compatible with development in the adjacent unincorporated areas of Mendocino County.



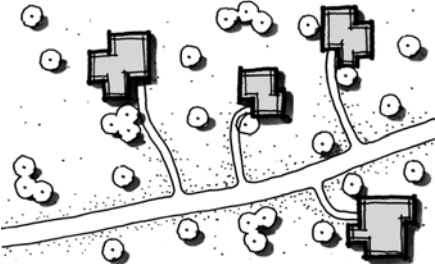
- **Medium Lot Rural Residential (RR2)**

Although slightly more dense than the large lot district described above, the one and two acre development pattern in the medium lot district also support a rural, low density character. This designation is found primarily at the northern edges of the City.



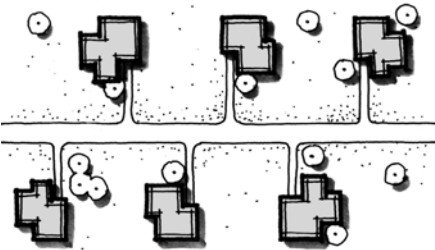
▪ Rural Residential (RR1)

The rural residential district is intended to support residential development in a semi-rural character and serve as the transition between the rural and the more traditional neighborhoods.



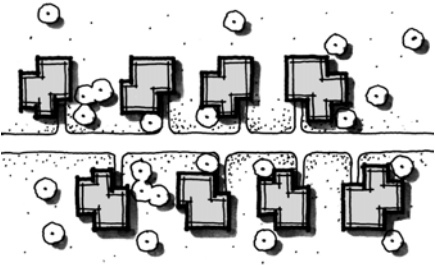
▪ Suburban Residential (RS)

The suburban residential district supports low density housing in areas where infrastructure and environmental constraints inhibit the establishment of urban densities.



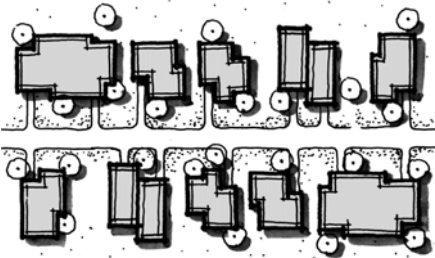
▪ Low Density Residential (RL)

The low-density designation provides for more traditional-style neighborhoods. This designation represents the largest residential district in the City and is concentrated in areas surrounding the more densely developed core of the City.



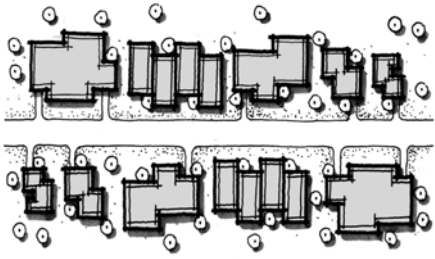
▪ Medium Density Residential (RM)

This designation is intended for a variety of housing types, including duplexes, triplexes, townhouses, and apartments located in close proximity to parks, schools and other services.



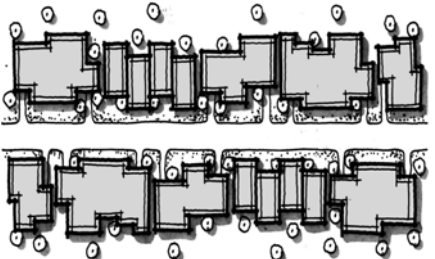
▪ High Density Residential (RH)

This designation allows residential development of higher density types, including townhouses, apartments, and mobile home parks. The high-density designation occurs on large sites that provide important open space and/or opportunities for creative planning and design. Projects that include open space, affordable housing, clustered housing, energy conservation features, and creative designs may be eligible for the higher density range.



▪ Very High Density Residential (RVH)

The very high-density designation allows high-density multi-family housing on sites close to commercial areas and public services. Apartments, mobile home parks, and similar scale residential projects are allowed in these districts.



1.12 Residential Design Guidelines Organization & Applicability

The Fort Bragg residential design guidelines are organized into five sections covering the varying type of residential development in the City. Guidelines from more than one section may apply to some residential projects.

Section 1.2: Rural Residential

The brief design guidelines in this section provide guidance to maintain the rural character of areas already rural in nature or which the community desires to maintain as rural. It generally applies to the following land use classifications:

- RR5 – Large Lot Rural Residential
- RR2 – Medium Lot Rural Residential
- RR1 – Rural Residential

Section 1.3: New Single-Family Design

The guidelines in this section are intended for new single-family development (e.g. subdivisions) and provide basic guidance related to site planning, architectural design, landscaping, and street configuration. It will generally apply to development in the following land use districts:

- RS – Suburban Residential
- RL – Low Density Residential
- RM – Medium Density Residential

Section 1.4: Single-Family Infill Development

This section provides basic architectural and site planning assistance to ensure that new single family units built in existing areas are compatible with the neighborhood character. They will generally apply to new construction in the areas designated as:

- RS – Suburban Residential
- RL – Low Density Residential
- RM – Medium Density Residential

Section 1.5: Residential Rehabilitation and Additions

The guidelines in this section provide recommendations to ensure that new additions, accessory units, and renovations to existing homes retain existing historic character and neighborhood compatibility. Generally, the guidelines will be applicable in the following land use districts:

- RS – Suburban Residential
- RL – Low Density Residential
- RM – Medium Density Residential

Section 1.6: Multi-Family Residential Neighborhoods

This section provides basic design guidance for the site planning, architecture, circulation, and landscaping of multi-family residential development. The recommendations will generally apply to development in areas with the following land use designations:

- RM – Medium Density Residential
- RH – High Density Residential
- RVH – Very High Density Residential

SECTION 1.2: RURAL RESIDENTIAL DESIGN GUIDELINES

DESIGN PRINCIPLE: *The design of rural residential development at the edges of the City should maintain a rural, low-density character and emphasize a feeling of natural open space and vegetation.*

1.21 Introduction

The intent of this section is to provide basic design guidance for residential development in Fort Bragg's more rural areas. The guidelines provide site planning and architectural design guidance for new rural residential-style development.

1.22 Applicability

The following guidelines are primarily applicable to new residential development in areas designated as:

- RR5 – Large Lot Rural Residential
- RR2 – Medium Lot Rural Residential
- RR1 – Rural Residential

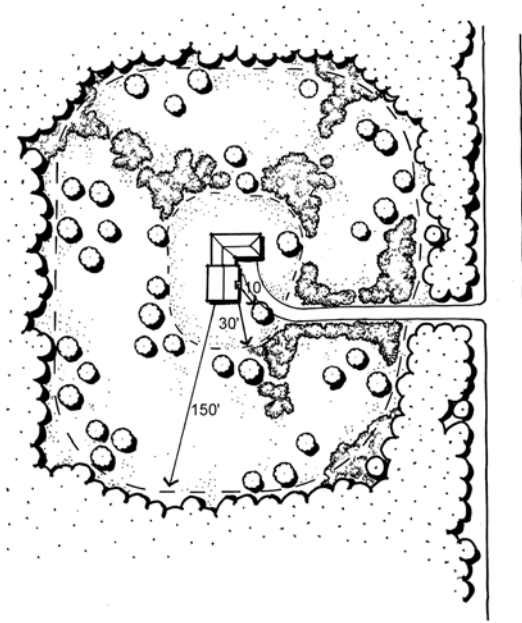
1.23 Site Planning

Site planning in areas with a rural character or designation should retain the low-density character and natural features of the site.

- Dwellings, accessory buildings, and driveways should not be prominent visual features within the landscape along any existing rural road. When a rural residential dwelling is proposed in an area with an open field or area with rural character, it should be sited at the edge of the field if possible to preserve the view of the open field, ocean, or rural scene.
- Fire protection measures are required where development is proposed adjacent to undeveloped natural open space. All developments should correspond to fire safety regulations of the California Department of Forestry and Fire Protection.
- Reinforce the rural and natural qualities of the area through the use of:
 - ❑ reduced pavement widths
 - ❑ preserved roadside vegetation and/or revegetate with similar plants
 - ❑ thickened asphalt edge curbing instead of concrete curbing
 - ❑ meandering pedestrian pathways composed of stabilized earth rather than a traditional concrete sidewalk
 - ❑ Use indirect lighting at entryways to reduce off-site impacts.



Use thickened asphalt curbing



Tree canopies within 150' perimeter of structure must be spaced apart and pruned to eliminate ladder fuels.

Only single tree specimens are permitted within 30' clearance of structures. Trees must be a minimum of 10' from chimney.

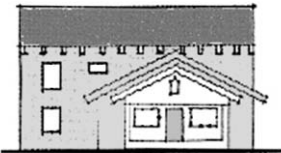
Shrubs may be no higher than 18" within 30' of structures.

1.24 Architecture

Architectural design should be unobtrusive in both style and size and should maintain a rural character.

Context, Scale, and Massing

- Homes should be designed to be unobtrusive. Avoid architectural features that increase visual prominence.
- In relating structures to the surrounding environment, pay particular attention to shapes, colors, and textures.
- Reduce the dominance of visible mass with the use of horizontal elements.
- Reduce the impacts of expansive facades by incorporating varied rooflines, offset facades, and elements to produce shadow patterns.



Discouraged



Encouraged

- Integrate accessory structures and additions with existing buildings by using similar forms, colors, and materials.

Colors and Materials

- Use colors and materials that blend with the natural environment
- Do not use highly reflective colors and surfaces

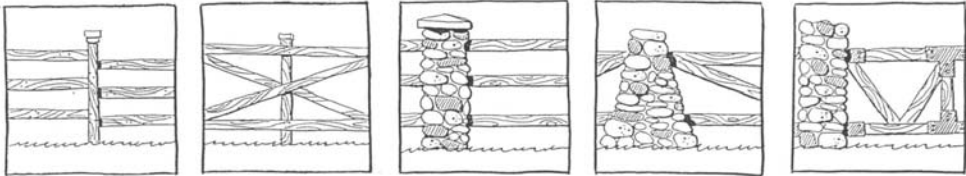


1.25 Landscaping

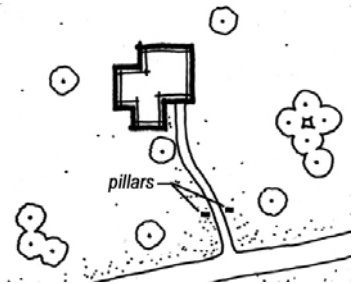
Landscaping and amenities should enhance the natural features of the site and should screen development wherever possible.

Fences, Gates, and Entries

- Use low, open style fencing and gates to maintain the rural character

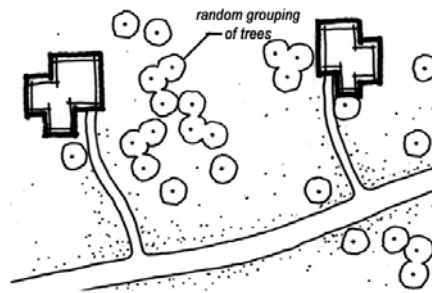


- Reduce visibility of fences and gates by using colors and materials that blend with the natural environment
- Design entryways/driveways to blend with the natural environment.
- Reduce the visibility and obtrusiveness of entryways by setting gates, pillars, etc. back from the roadway.



Landscape Design

- Plant in random groupings to reflect the vegetation on adjacent properties and open areas. Avoid linear plantings.



- Create a simple and natural design, rather than a formal one, that blends with the site.
- Use landscaping to address erosion control, provide privacy and shade, and to soften the appearance of structures.
- Use native plant materials where available and appropriate

SECTION 1.3: NEW SINGLE-FAMILY DESIGN GUIDELINES

DESIGN PRINCIPLE: *The design of new single-family residential neighborhoods should respect and reinforce the traditional neighborhood character found in the City of Fort Bragg.*

1.31 Introduction

The intent of this section is to allow flexibility in the design of new residential neighborhoods (subdivisions) while at the same time protecting Fort Bragg's intimate, traditional neighborhood character by encouraging architectural variety, promoting pedestrian activity, protecting existing natural features, and providing meaningful open space. The following guidelines provide only basic direction for new neighborhoods.

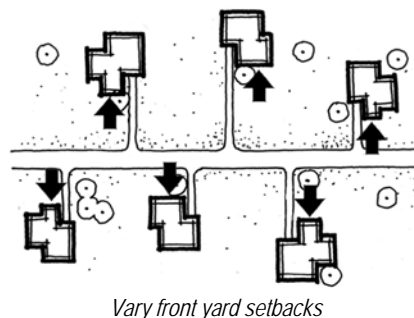
1.32 Applicability

The following guidelines will apply primarily, but not exclusively, to new residential development in areas designated as:

- RS – Suburban Residential (1-3 units per acre)
- RL — Low Density Residential (3-6 units per acre)
- RM — Medium Density Residential (6-12 units per acre)

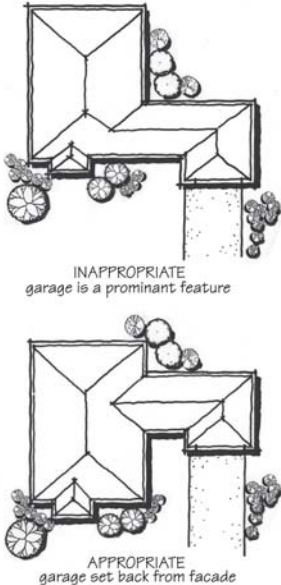
1.33 Site Planning

- Structures and driveways should be sited with respect to natural site conditions and following natural contours.
- Variation of development patterns within new neighborhoods is necessary to achieve visual diversity and avoid a monotonous appearance. One or more of the following techniques should be incorporated into the project's design to help achieve diversity.
 - Varied front yard setbacks – Placement of homes and garages close to or back from the street creates different patterns of visible open space. The structures themselves, when close to the street, also add diversity to the view.



- Varied side yard setbacks – Varying the distance between adjoining homes, or between homes and fences results in different types of yards and private patio areas.

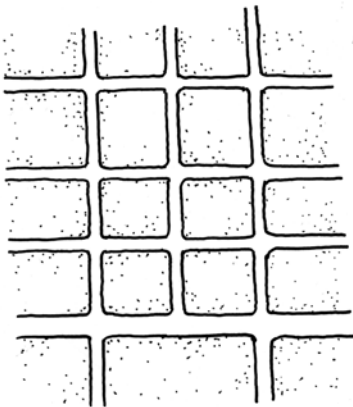
- ❑ Varied lot widths – Making some lots wider, and some narrower, than the average lot provides different amounts of open area between structures. It also allows placement of different sizes and shapes of homes that give a neighborhood more character and individuality.
- ❑ Varied garage placement and orientation – In order to prevent garages from dominating the front of the house and to maintain traditional home building in Fort Bragg, they should be variably placed, preferably in rear yards or possibly oriented with a side entry.



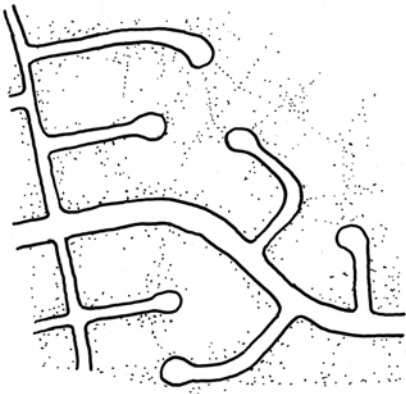
1.34 Traditional Street Patterns

While new residential development streets need not exactly replicate existing Fort Bragg neighborhoods, the general pattern of block lengths, widths, and shapes should bear some resemblance to the older parts of town.

- Traditional grid-style streets with short rectangular or square blocks are preferred for new residential neighborhoods.
- Suburban curvilinear streets, cul-de-sacs, T-turnarounds, gated and/or dead-end streets should be avoided.

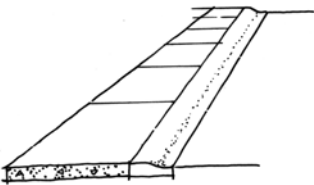


Traditional grid-style street pattern

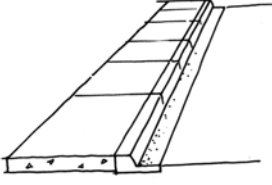


Suburban, cul-de-sac street pattern

- New project streets should connect with existing City streets to form a continuous network of streets whenever possible.
- Rolling curbs are discouraged in older existing neighborhoods. Vertical-faced curbs, consistent with existing Fort Bragg neighborhoods, are encouraged.



Avoid rolled curbs in existing neighborhoods



Use vertical-faced curbs instead



Planted parkways should be used

- Ample landscaping and the use of planted parkways should be used to frame, soften, and embellish residential streets (2-3 street trees per 100 linear feet is desirable)

1.35 Architectural Design

While no specific style of architecture is required for residential structures, existing architectural styles and character of Fort Bragg should be considered. Architecture should consider compatibility with surrounding character, including building style, form, size, color, material, and roofline.

Design Details

- The design of houses should be varied within new neighborhoods to create diversity and interest. A significant difference in the massing, composition, and architectural style, as well as finish materials and colors of each adjacent house should be accomplished. One design should not be repeated more frequently than every fourth house and individual dwelling units should be easily distinguishable from one another.
- Avoid residential development that includes architectural detailing only on the front façade. All elevations should be designed with the same care and attention to detail, and preferably using the same materials, as the front elevation. Materials should turn corners and avoid exposed edges which otherwise cause an artificial appearance.



All elevations should receive architectural detail

- Exterior materials and architectural details should relate to each other in ways that are logical and/or traditional. For instance:
 - ❑ Heavy materials should appear to support lighter ones
 - ❑ A single building should remain stylistically consistent
- Building design should feature the residential living space as the primary element. Garage doors should not dominate the home's front elevation.
- Front doors should always be oriented toward the sidewalk, not at the side of the unit.
- Buildings with greater height should consider setbacks at the second story to reduce impacts on adjacent single story residences. The use of balconies on two story units is also encouraged.
- The integration of varied textures, openings, recesses, and design accents on building walls is strongly encouraged to soften the architecture. Incorporating verandas and porches on new residential structures are also encouraged.
- To avoid a flat appearance with no depth or shadow, overhangs should be at least 12 to 16 inches.



Front porches are encouraged



Large overhangs add depth and shadow

1.36 Landscaping and Fences

- Walled and gated communities contradict the charm and friendly character of Fort Bragg. New neighborhoods with perimeter gates and walls are strongly discouraged with the exception of sound walls between residential and commercial developments.
- Extensive landscaping in the form of trees, hedges, and groundcover in front yards is encouraged.
- Encourage landscaping at perimeter of yards, rather than only foundation plantings, to help create a natural edge.



Encourage extensive landscaping

SECTION 1.4: SINGLE-FAMILY INFILL DEVELOPMENT DESIGN GUIDELINES

DESIGN PRINCIPLE: *The design of infill housing in the City of Fort Bragg should complement the existing character, scale, and pattern of the neighborhood in which it is built.*

1.41 Introduction

A number of opportunities for new residential infill development exist in Fort Bragg. When new houses are developed adjacent to older single-family residences, the height and bulk of the infill houses should not have a negative impact on their surrounding neighbors by appearing out of scale and visually dominating. The following guidelines are intended to ensure that new infill development respects the existing pattern, scale, and character of existing neighborhoods.

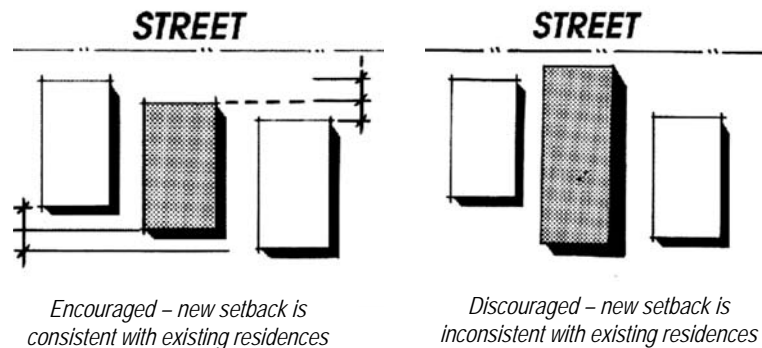
1.42 Applicability

The following guidelines apply primarily, but not exclusively, to new residential development in areas designated as:

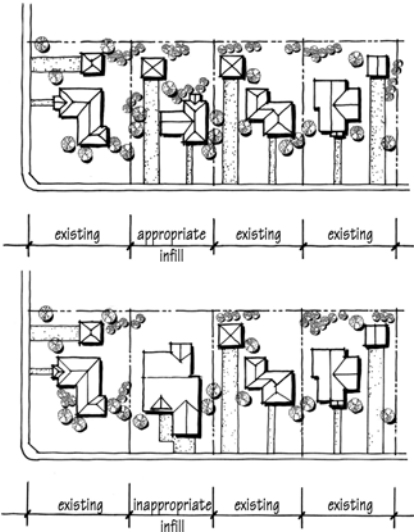
- RS – Suburban Residential (1-3 units per acre)
- RL — Low Density Residential (3-6 units per acre)
- RM — Medium Density Residential (6-12 units per acre)

1.43 Site Planning

- Setbacks should be consistent with the prevailing setback of houses on the street; or be consistent with the average setback of the two immediately adjacent houses. In such cases, the new house may be averaged in a step pattern.



- New projects should be respectful of the existing open space pattern and should provide side yards that respect the existing pattern.
- Where residential properties are adjacent to commercial uses, landscaping should be used to screen and buffer these uses.
- Natural amenities unique to the site, such as ocean views, mature trees, etc. should be preserved and incorporated into the site.



- Consistent with existing neighborhood character, garages should be placed at the rear of residences whenever possible.
- Front doors should be oriented toward the sidewalk, when possible. This applies to manufactured homes, as well as traditional residential single-family homes.



Discouraged: entrance at side of unit

Encouraged: entrance at front of unit

1.44 Architecture

- Builders should be familiar with the various architectural styles in the community and particularly with those in the immediate vicinity of their property. While it is not necessary, nor desirable, to achieve an exact replication of an existing style, infill development should be respectful and compatible with surrounding styles.



Historic Fort Bragg home



- Height and scale are important considerations because new infill houses are sometimes taller than one story and their height and bulk can impose on adjacent residences. The height of new houses should be considered within the context of their surroundings. Buildings with greater height should consider setbacks at the second story to reduce impacts on adjacent single story residences.

- All building elevations should be architecturally detailed. Elevations that do not directly face a street should not be ignored, nor should they receive only minimal architectural treatment.
- Front porches are common architectural features on many Fort Bragg homes. The incorporation of porches on new infill residential is encouraged for both practical and aesthetic value. These elements should be integrated to break up large front facades and add human scale.



Good example of front porch detail

1.45 Landscaping and Fencing

Homeowners can contribute greatly to the overall appearance of their neighborhood by carefully considering and incorporating front yard landscaping.

Landscape Design

- Strive for some semblance of unity in the landscape, rather than disjointed groupings and scattering of features. No one element should stand out; instead, all the parts – plants, gradients, and structures should work together harmoniously.
- Balance the landscape using mass, color, or form to create equal visual weight on either side of a center of interest (e.g. creating mirror images of shrubs)



Adequate landscaping is strongly encouraged

on each side of a stairway or balancing a large tree on one side of the house with a grouping of smaller trees on the other side).

- Landscaping should be in scale and proportion with adjacent buildings and other landscaping elements and should be of appropriate size at maturity.
- Avoid a monotonous landscape by selecting plants in a variety of shapes, shades, and textures.
- Existing mature, healthy trees should be preserved and incorporated within the overall landscaping plan of the project whenever possible.
- Often, different architectural styles may be associated with "formal" or "informal" landscape design theme:
 - ❑ Formal designs emphasize a uniform balance of landscape features with a mirror-like symmetry. Landscaped areas are plotted out in geometrical shapes; trees and shrubs may be trimmed into stylized forms. This approach can work well with the formality of Victorian-era homes.
 - ❑ The informal landscape theme emphasizes asymmetrical designs, preferring arrangements that appear more natural and free-flowing. The informal design approach is most suited for Bungalow and Craftsman-style homes, which represent a rejection of formality and promote a return to nature.



Use a variety of plants

Fencing

- Residential fences should be kept as low as possible while still performing their intended security, screening, or separation functions.
- Materials and colors should be consistent with the architectural theme of the home on the site. Open, wooden fencing is the preferred fencing material for Fort Bragg neighborhoods.
- Unadorned, unarticulated fence and wall materials, such as plain concrete block, poured-in-place concrete and slumpstone will look out of place in front yards. Solid fences should not be used in front yards, but may be located behind the front yard setback. Refer to zoning ordinance for setback requirements.
- Chain link fencing, barbed wire, or razor wire should not be used.



Fence with Craftsman details



Fencing common to Fort Bragg neighborhoods

SECTION 1.5: RESIDENTIAL REHABILITATION, ADDITIONS, & ACCESSORY BUILDINGS

DESIGN PRINCIPLE: The rehabilitation of residences and the design of new additions should sustain and protect the unique architectural character of the original structure and the neighborhood.

1.51 Introduction

Rehabilitation efforts should be aimed at maintaining and protecting the original architectural features of a house. Predominant styles of architecture in Fort Bragg's neighborhoods are Victorian era homes and California Bungalows. The following guidelines should be utilized whenever repairs or alterations are planned for the exterior facade of an existing residence, or when additions are proposed.

1.52 Applicability

The following guidelines apply primarily, but not exclusively, to residential rehabilitation, additions and accessory buildings to development in areas designated as:

- RS — Suburban Residential (1-3 units per acre)
- RL — Low Density Residential (3-6 units per acre)
- RM — Medium Density Residential (6-12 units per acre)

The following guidelines are intended to ensure that residential rehabilitation, additions and accessory buildings, respect the existing pattern, scale, and character of existing neighborhoods.

1.53 General Principles

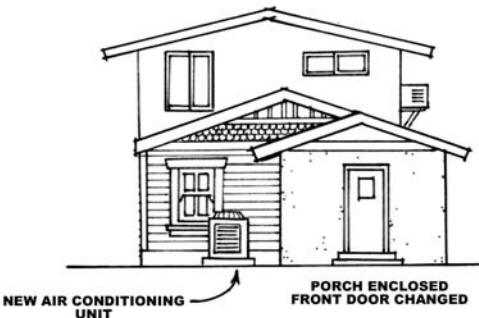
- Rehabilitation efforts should try to retain and restore original elements of the home. If damage or deterioration is too severe, the element might be recreated using materials that match the design, color, texture and other important features as close as possible.
- When an entire piece of a building is missing (e.g. original porch columns), research can be very helpful in understanding the functional and aesthetic ideas behind the original style and form.
- Rehabilitation efforts should not try to create or add a preconceived concept of history.

1.54 Architectural Compatibility

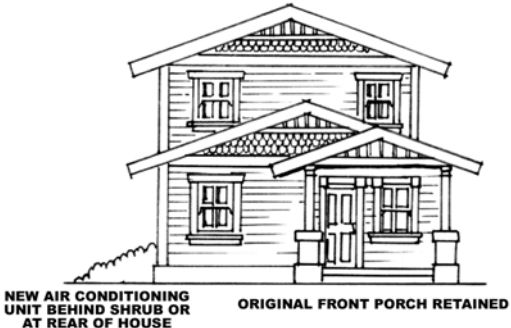
- When repairing or remodeling exterior wall surfaces, the original building materials should be retained where possible. Replacement materials should match the original materials as closely as possible. Do not use mismatched materials of different sizes, types, shapes, textures, or finishes.
- Whenever possible, the exterior building colors should reflect the basic color palette of the particular architectural style or period. Colors should also be compatible with and blend with surrounding buildings (e.g. colors should not, because of their intensity, chroma or distinctiveness, be the most dominant feature of a site).



- Great care should be taken to ensure that roofs are watertight and that, when replacement is necessary, new roofing materials are compatible with the original architectural style of the house. Patching roofs with materials or color that do not match the rest of the roof is not appropriate.
- When window replacement is necessary, the new window should match the original as closely as possible. Blocking or filling window openings should be avoided.
- The size, shape and style of doors are an important feature of an architectural style and the original type should be retained where possible. When replacement is necessary, doors should be replaced to match the original design and materials, especially where such doors are visible from the street.
- Porches add visual interest and create welcoming passages to homes. The original design integrity of porches should not be compromised during rehabilitation. Attempts to modernize or change the appearance of a porch should be avoided.
- All existing historic ornamentation and trim should be preserved in more detail in order to reinforce traditional character.



Discouraged



Encouraged

1.55 Additions and Accessory Buildings

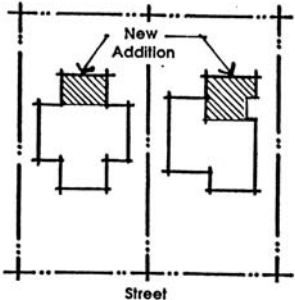
It is not uncommon for homeowners to add new rooms to their house or to add accessory buildings in the form of workshops, garages, and second units. The following guidelines should be consulted when such changes are proposed.



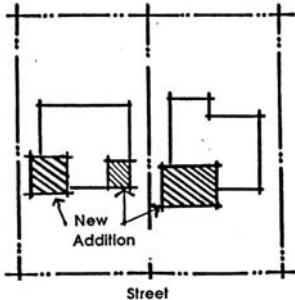
Appropriate new additions

Site Planning

- Additions and accessory buildings should be placed to the side or rear of the property and should not obstruct the appearance of the home from the street.



Encouraged



Discouraged

- The placement of new garages should maintain the existing development pattern of the neighborhood. In many cases, this will require placing the garage to the rear of the lot.
- In situations where it is not appropriate to place the garage to the rear of the lot, the garage should be placed to diminish the visual impact of garage doors along the street frontage. This can be accomplished by offsetting the garage behind the front façade of the house, providing a side entry garage, or accessing the garage from the side street.



Architectural Features

- The design of proposed additions or accessory buildings should complement the overall scale, massing, proportion, and detailing of the original structure.
- Roof style, pitch, and materials should match the original. Roof materials should also match as closely as possible in order to maintain the architectural style of the original house.



Not appropriate



Appropriate

- The exterior appearance of additions and new accessory buildings should be compatible with the style, quality, dimension, texture, and color of materials on the main residence.
- A consistent rhythm of window placement, window style, and window size should complement the style of the house.
- Second story additions should follow similar two story examples of the particular style. Generally, second story additions should be set back from the front façade to better integrate into the original design.



Flat roofed, unarticulated addition is not consistent with Craftsman style



Second story addition is set back to reduce impact of added height

SECTION 1.6: MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES

DESIGN PRINCIPLE: *New multi-family residential development should reflect the scale, rhythm, and design of existing Fort Bragg neighborhoods.*

1.61 Introduction

By their nature, multi-family developments are large in scale and tend to dominate their surroundings if not properly designed. Additionally, issues of parking, circulation, open space, site amenities, and resident safety need to be addressed.

The purpose of this section is to provide design guidelines that address the particular issues associated with multi-family developments. The guidelines cover attached-type dwellings in general, including apartments, condominiums, and townhouses throughout the multi-family zoning district.

The primary objective of the design guidelines in this section is to ensure quality development that will stand the test of time, be safe and convenient for its residents, and be compatible with the character of the neighborhood.

1.62 Applicability

The design guidelines in this section are applicable to all new multi-family developments throughout the City, including duplexes, triplexes, fourplexes, and other attached multi-family projects whether available for rent or ownership. The guidelines generally apply to new multi-family residential development in areas designated as:

- RM — Medium Density Residential (6-12 units per acre)
- RH — High Density Residential (6-15 units per acre)
- RVH — Very High Density Residential (6-24 units per acre)

1.63 Site Planning

Neighborhood Context

- New multi-family residential development should be compatible with other development in the immediate area through the use of complementary building arrangements, buffers, and avoidance of overwhelming building scale and visual obstructions.
- Developments should relate directly to the adjacent street, and present an attractive and interesting façade to passersby. Developments that ignore the street and create an isolated enclave are strongly discouraged.

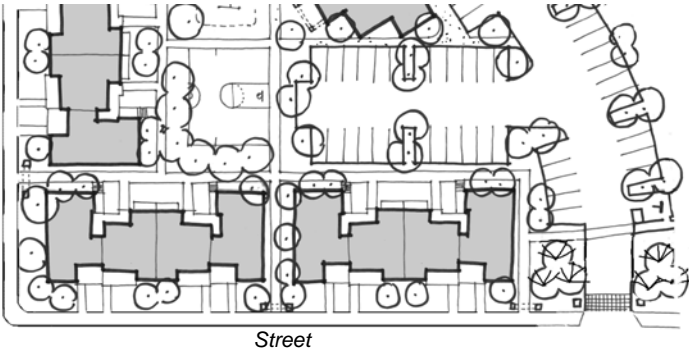


Dwelling units oriented to the street

Building and Facilities Location

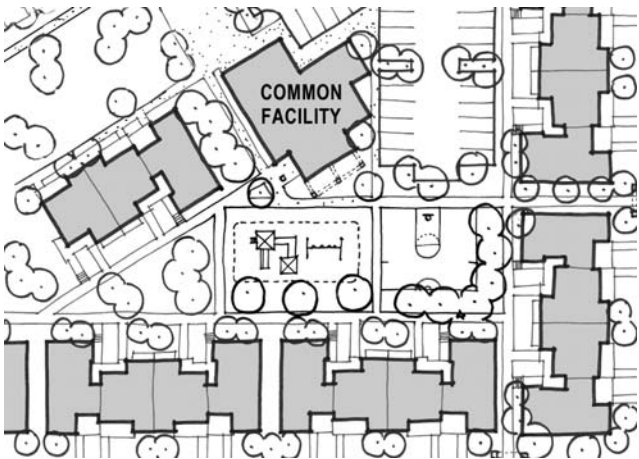
Appropriate building siting can reduce the perceived density of multi-family developments, maximize open space areas, provide "eyes on the street" surveillance, and enhance neighborliness by creating community gathering spaces.

- The siting of buildings should consider the existing neighborhood context. Developments should generally be oriented parallel to the public street or to the development's internal streets, with some setback variation to provide visual interest.



Buildings sited parallel to the public street

- In addition to a street orientation, the clustering of multi-family units should be a consistent site planning element. Whenever possible, buildings should be configured around courtyards, gathering areas, and open spaces.
- Portions of the development that are not oriented to the street should be well integrated into the project's overall site design. As with the street-oriented area of the development, the same design considerations should be given to siting, appearance, circulation, landscaping, and safety issues.



Buildings are configured to form a centralized open space area for children's outdoor play

- Buildings should be oriented to provide some privacy yet still relate to the street and the existing community. Doors should be visible from the street and windows should allow residents to have “eyes on the street” for natural surveillance.
- Energy efficiency and energy conservation should be considered in building siting. Buildings should be oriented to take advantage of solar opportunities whenever possible.
- Where bus routes are located near the development, the site design should consider convenience and comfort factors for residents. These include direct access, widened sidewalks, seating areas, and weather protection provided near public transit stops.

Open Space

Common open space provides opportunities for casual social interaction and safe play areas for children, as well as helping to reduce the perceived density of the development. Private open space serves as an outdoor room for residents and as a protected play area for toddlers.



Private open space at rear of unit

- Residents should have access to useable open space for recreation and social activities. Open spaces should be conveniently located for the majority of units.
- Open space areas should be sheltered from the noise and traffic of adjacent streets or other incompatible uses. Open space siting should give consideration to prevailing breezes and sun orientation in order to provide a comfortable environment.
- A series of connected open space areas of varying shape, appearance and usage are encouraged. Smaller areas may directly relate to a cluster of units, while the larger areas may serve several clusters as common open space.
- Boundaries between private and common open spaces should be clearly defined by low walls or plant materials.
- Buildings should be sited and designed so that windows of neighboring units do not overlook private open spaces likely to be used for private activities.
- Private open space should be provided adjacent to the units it serves and should be immediately adjacent to the public right-of-way or common open space.
- Shade structures are encouraged to provide shelter from sun and rain.

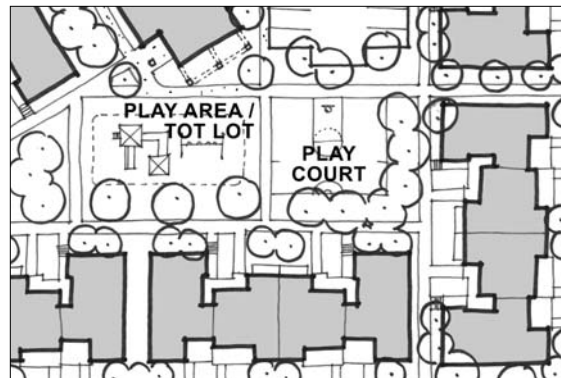
Outdoor Play Areas

Onsite outdoor play areas can provide children with a safe and interesting environment, and allow parents to easily view play areas in order to supervise play activities. Children, especially those in the five- to twelve-years old age group, tend to play throughout the entire grounds of a development, not just in designated play areas. Therefore, their needs, as well as maintenance requirements, should be important design considerations.



Outdoor play areas visible from unit

- Children's play areas should be visible from as many units as possible and from private open space areas. Direct, convenient access from ground level, private open space to the communal play area is encouraged.
- Outdoor play areas should be located adjacent to laundry rooms, community centers, or similar common facilities. Play areas should not be located near public streets, parking, or entry areas unless physically separated by appropriate walls, fencing, or dense landscaping.
- Hard surface areas for outdoor activities (e.g., bicycle riding, skating, rope jumping, and hopscotch) should be provided. These active play areas should be safely separated from vehicular use areas.
- In larger developments, separate, but not necessarily segregated, play areas or informal outdoor spaces should be provided for different age groups for safety reasons. Small developments may combine play areas (e.g., a tot lot incorporated into a larger activity area for older children).
- Seating areas should be provided where adults can supervise children's play and also where school-age children can sit. Seating location should consider comfort factors, including sun orientation, shade, and wind.



Create separate play areas for the activities of younger and older children

1.64 Architecture

These guidelines do not designate a particular architectural style or a specific design character. The primary focus is to construct a high quality residential environment that is compatible with the surrounding community. The architectural guidelines address the overall external appearance of the development, including building forms, details, and proportions.

General Guidelines

- Use of single-family residential design elements (e.g., pitched roofs, porches, individual entries) are recommended to reduce perceived density, give identity to the development and its individual dwelling units, add visual interest, and be compatible with the neighborhood context.
- Where the neighborhood or street has a recognizable architectural theme, style, or character, it should be incorporated into the development's design.
- To create a unified appearance, all support buildings in the development, (e.g., laundry facilities, recreation buildings, carports, garages, and the management office) should be compatible in architectural design with the rest of the development.

Architectural Features and Design

- Buildings should incorporate smaller-scale architectural forms such as bays, recessed or projecting balconies, and dormers to visually reduce the height and scale of the building and emphasize the definition of individual units. Architectural elements such as bay windows, porches, projecting eaves, awnings, and similar elements that add visual interest to the development are strongly encouraged.



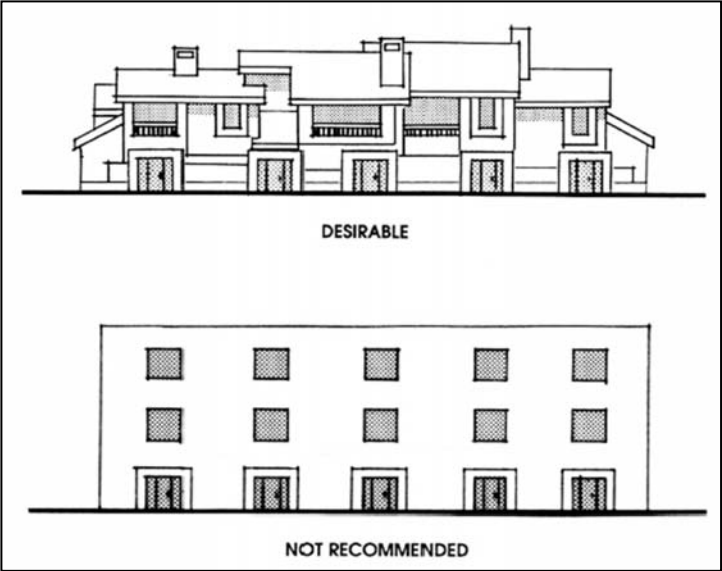
The use of porches, balconies, and trellises are encouraged

- In order to “scale down” facades that face the street, common open space, and adjacent residential structures, it may be desirable to set back portions of the upper floors of new multi-family buildings.
- Varied building heights are encouraged, both to provide visual interest and give the appearance of a collection of smaller structures. Building heights at the development's edge should be considered within the context of the project's surroundings, the adjacent uses, and the distance from adjacent buildings. The development's building height should create a transition from the heights of adjacent existing residential development, rather than form abrupt height changes.



Height transition from existing one-story dwelling to new two-story development

- Boxy and monotonous facades that lack human scale dimensions and have large expanses of flat wall planes should be avoided. Architectural treatments, such as recessed windows, moldings, decorative trim, balconies, and wood frames, should be used to add visual interest to the facade.



Façade articulation is important to avoid blank, monotonous walls

- Roof pitches and materials should appear residential in character and should consider the prevailing roof types in the neighborhood, including flat roofs, hipped or gabled roofs, and mansard roofs. The roof pitch for a porch may be slightly lower than the roof pitch of the main building.
- Rooflines should be broken up and varied within the overall horizontal plane. Combinations of roof heights that create variation and visual interest are encouraged.
- To provide visual interest and avoid an identical appearance, garage doors should incorporate some architectural detailing that is consistent with the overall development’s architectural design, such as patterned garage doors or painted trim.
- Building facades that enclose stairwells should include residential-type windows to reduce the visual bulk of the stairwell and enhance safety. Building facades enclosing elevator shafts should use architectural treatments to reduce the visual mass.



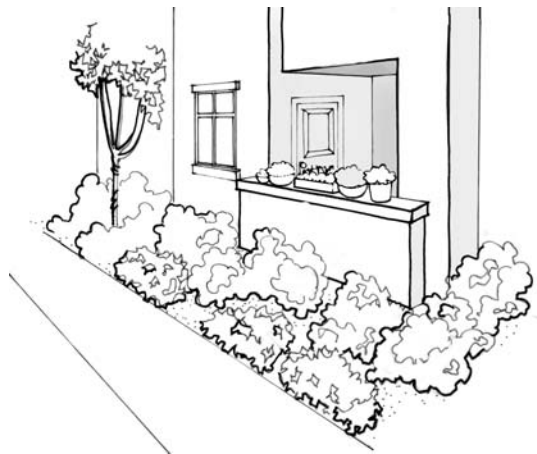
Garage doors with architectural detailing create visual interest



Open stairways allow natural surveillance

Building Entries and Stairways

- Courtyard doors or gates used at building entries should be attractively designed as an important architectural feature of the building or development.
- Individual entries should have a strong relationship with a fronting street, internal walkway, or courtyard, as appropriate to the overall siting concept. A transitional area from the public space or walkway to the private dwelling unit entry, such as a porch, steps, or landscaped walkway, should be provided.
- Each dwelling unit's entry should be emphasized and differentiated through architectural detailing and elements such as porches, stoops, or roof canopies. Opportunities should be provided for residents to personalize their entry by providing ground level space or a wide ledge for potted plants.
- Not more than three second floor dwelling units should be served by a single flight of stairs. Where appropriate for the architectural style, the stairway design should be open to allow views for natural surveillance.

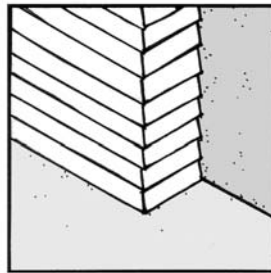


A wide ledge creates opportunities to personalize the dwelling unit

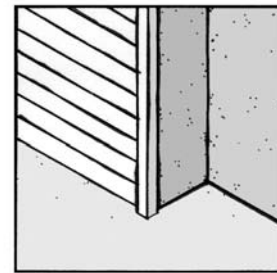
- Where prefabricated metal stairs are used, additional design features such as screen walls, enhanced railings, or accent colors should be used to enhance their appearance. The additional design features should be consistent with the overall building design.

Materials and Color

- The development's dwelling units, community facilities, and parking structures should be unified by a consistent use of building materials, textures, and colors. Exterior columns or supports for site elements, such as trellises and porches, should utilize materials and colors that are compatible with the rest of the development.
- Building materials should be durable, require low maintenance, and be of comparable or better quality and image to what is used in the surrounding neighborhood. Frequent changes in building materials should be avoided.
- Color should be used as an important design element in the development's appearance. The predominant colors for the dwelling units and accessory structures should be natural or muted tones. Appropriate use of more than one predominant paint color is encouraged. Compatible accent colors are encouraged to enhance important building elements.
- The color of shadow patterns, relief, decorative trim, and wood frames should be distinctive yet compatible with the overall building color.
- Materials such as brick, stone, copper, etc. should be left in their natural colors. Such materials should not appear thin and artificial.
- Veneer should turn corners and avoid exposed edges.



Do This



Not This

1.65 Landscaping and Site Amenities

Landscaping serves many functions in a multi-family housing development. Plant materials can create unique identity, visually connect areas, soften the architecture, provide shade, and screen unattractive areas. Landscaping is important to site design and safety/security issues, as it helps to define outdoor space and edges and can be used to discourage graffiti. An attractive, well-maintained outdoor environment contributes to overall resident satisfaction in the development and enhances the appearance of the surrounding neighborhood.

Landscaping

- Landscaping should complement existing landscape materials, location, and massing on adjacent developments.
- Landscape design and selection of plant materials are an important component in multi-family developments. The development's budget should provide for quality landscaping design, proper installation, and plant sizes that will "fill in" and beautify the development within a reasonable period of time.
- Use of landscaping is encouraged to define and accent specific areas such as building and parking lot entrances and the main walkways to community facilities.



- Plant materials should be used to define the territorial edge between public and private space, buffer adjacent uses, when appropriate, and screen service areas.
- Different landscape designs and plant materials should be used in the various courtyards and common open space areas of the development to create an individual identity for each space.
- Landscape designs that emphasize water-efficient plants are encouraged. Water-intensive landscaping, such as grass, should be concentrated in areas of high visibility and use.
- Vines and climbing plants on buildings, trellises, perimeter walls, and fences are encouraged, both to provide an attractive appearance and to minimize graffiti.
- Landscape plantings should be used to help define property lines and distinguish private space from public space by creating a strong edge through a distinct change of plant material, form, height and/or color.
- Trees and shrubs should be selected based on their mature size and root characteristics. Plants with root systems that uplift hardscape materials should be avoided.

- Landscape materials should be used to help screen trash enclosures and mechanical equipment so that they are not exposed to view from the street or major walkways within the development.



- Trees and shrubs should not be planted so close together that they create maintenance and security problems at maturity. They should not completely obstruct views into the development from the public right-of-way, especially views to dwelling entries and common open space areas.
- Use trees to create canopy and shade, especially in parking areas and passive open space areas. Trees with open branching structures and less dense foliage should be used to allow “filtered” views to parking lots for security purposes.

Walls and Fences

- The design of walls and fences, as well as the materials used, should be consistent with the overall development’s design. Fence and wall color should be compatible with the development and adjacent properties. Paint color or stain used on fences should be common colors readily purchased and kept readily available on the development’s premises.
- If front yard fences are provided, visually penetrable materials should be used.
- Long fences or walls should consider variation in the design.
- Wall design and selection of materials should consider maintenance issues, especially graffiti removal and long-term maintenance. Concrete capstones on stucco walls are encouraged to help prevent water damage from rainfall and moisture.
- Individual dwelling unit patio and rear yard fences and walls visible from the development’s open space should be no higher than 42 inches for security reasons. Outdoor privacy walls between units, however, may be higher. To increase privacy, it is encouraged that the privacy walls be solid.

Site Furniture

- The design, selection and placement of all site furnishings (e.g., tables, benches, bollards, and trash receptacles) should be compatible with the overall site design and architectural character of the development.
- Seating opportunities should be provided in both sunny and shaded areas. Seating in areas that offer opportunities for social interaction and informal surveillance, (e.g., a bench near the communal mailbox area or benches near tot lot areas and laundry rooms) are strongly

encouraged. A variety of sitting area designs, from formal arrangements (benches) to informal arrangements (low walls or steps) are encouraged. In general benches should be located in areas that have some provision for shade.

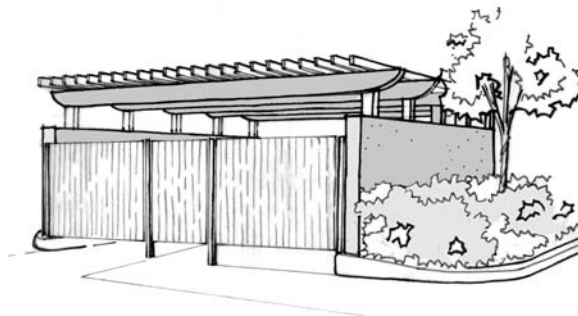


Seating areas in a shaded location

- A drinking fountain located near each children's play area is encouraged. Drinking fountains should be "high/low" to accommodate various age groups and disabled persons.
- Onsite trash receptacles and recycling containers should be located in or adjacent to high use areas (e.g., community facilities, play areas, and laundry rooms).

Refuse Storage Areas and Utilities

- Refuse and recycling storage areas, propane and heating fuel tanks, fire check valves, and other mechanical features should be located in convenient but not prominent areas, such as inside parking courts, or at the end of parking bays. They should be well screened in compliance with requirements of the Development Code. Screening should be of the same type of material as, or complementary to, the material used on the main building. Landscaping should be provided where possible.

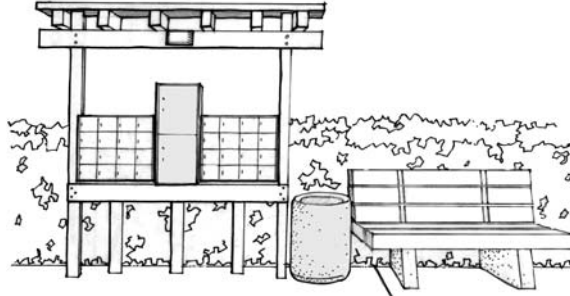


A trellis and gate screen the trash enclosure

- Trash receptacles should be accessible for trash collection but should not block circulation drives near loading areas or conflict with parking. For security reasons, trash enclosure locations should not create blind spots or hiding areas.

Mailboxes

- Mailboxes should be located in highly visible, heavy use areas for convenience, to allow for casual social interaction, and to promote safety. A bench or seating area in close proximity to the mailbox location is strongly encouraged. A trash receptacle should be located adjacent to the mailboxes.
- Incorporation of design features, such as a built frame consistent with the development's architectural style, is encouraged.



A bench near the mailbox offers an opportunity to socialize

Signs

- Signs contribute to the development's identity as a unique environment. Professionally designed, creative signs are strongly encouraged, especially for internal directions and building identification.
- Clear legible entry signs should be provided to identify the development. Internal circulation signs and visitor parking areas should also be clearly indicated. A directory that shows the location of buildings and individual dwelling units within the development is encouraged.
- Building numbers and individual unit numbers should be readily visible, in a consistent location, well lighted at night, and compatible with the overall design of the development.

1.66 Circulation and Parking

Safe and efficient parking and circulation arrangements take into consideration the needs of pedestrians, children at play, parking lot appearance, and prevention of car theft or damage.

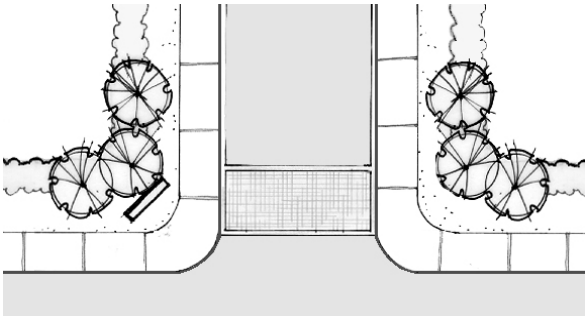
Automobile Circulation and Parking

- One large parking area where cars would dominate views and increase perceived density should be avoided. Parking areas should be divided into a series of small parking courts with convenient access that relates to adjacent dwelling units. For security reasons, dwelling units should have sight lines out to the parking areas, but these views should be partially filtered through use of appropriate landscaping, such as trees.



Small parking courts with trees that filter views from dwelling units

- Parking areas should be located in the development's interior and not along street frontages. Carports and tuck-under parking should not be visible from a public street.
- Entry drives should have an adjacent pedestrian entry path.
- Special accents that define the main entry, create territorial reinforcement, and provide visual interest are strongly encouraged. Examples include entry signage with name of project, specialty lighting, textured paving, and accent plant materials such as specimen trees and flowering plants.



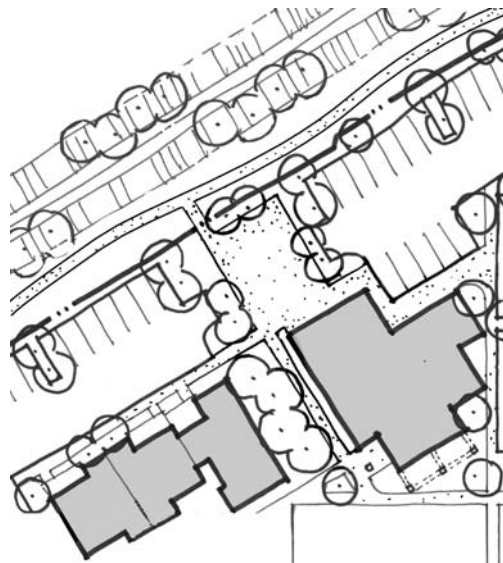
Entry drive with textured paving and border strip

- Carports, detached garages, and accessory structures should be designed as an integral part of the development's architecture. They should be similar in material, color, and detail to the main buildings of the development. Flat roofs should be avoided. Prefabricated metal carports should not be used.
- Parking courts should be well designed, with consideration given to landscaping, lighting, building massing, and pedestrian/vehicular circulation.

- Visitor and disabled parking should be clearly identified and distributed throughout the development to provide convenient access to groups of dwellings and community facilities.

Pedestrian Circulation

- Pedestrian circulation provides safe, efficient access to facilities and dwelling units for residents, encourages opportunities for casual social encounters, and allows natural surveillance by residents.
- Convenient pedestrian connections should be provided to adjoining residential developments, commercial projects, and other compatible land uses.
- Pedestrian access to adjacent existing or planned open space areas and corridors should be provided for the development's residents.
- Cross circulation between vehicles and pedestrians should be minimized. A continuous, clearly marked walkway should be provided from the parking areas to main entrances of buildings.



Provide access to adjacent open space corridors